

**NOTES**

- OWNER/APPLICANT: CAPE HATTERAS ELECTRIC MEMBERSHIP CORPORATION  
PO BOX 9  
BUXTON, NC 27920
- ENGINEER: QUIBLE & ASSOCIATES, P.C.  
PO DRAWER 870  
KITTY HAWK, NC 27744  
(252) 491-8147
- PN/PID: 0537-1830-9133 / 017075000
- PROPERTY ADDRESS: 47159 LIGHT PLANT ROAD, BUXTON, NC 27920
- RECORDED REFERENCE: DB 1772, PG 32; PC E, SL 82, PG 4, SL 180
- PROPERTY ZONED: ALTERNATIVE MEDIUM DENSITY RESIDENTIAL DISTRICT (R-2A)
- MAXIMUM BUILDING HEIGHT:
  - LOTS 7,499 SQUARE FEET OR LESS IN AREA - BUILDING HEIGHT SHALL BE LIMITED TO A TOTAL OF 35 FEET MEASURED AS AN AVERAGE OF THE PEAK OF THE ROOF.
  - LOTS 7,500 SQUARE FEET TO 14,999 SQUARE FEET IN AREA - BUILDING HEIGHT SHALL BE LIMITED TO 35 FEET TO THE TOP PLATE OF THE CEILING OF THE HIGHEST HABITABLE FLOOR FOR A TOTAL BUILDING HEIGHT OF 42 FEET, MEASURED AS AN AVERAGE OF THE PEAK OF THE ROOF.
  - LOTS 15,000 SQUARE FEET OR GREATER IN AREA - BUILDING HEIGHT SHALL BE LIMITED TO 35 FEET FOR THE HIGHEST HORIZONTAL STRUCTURAL MEMBER OF THE HIGHEST HABITABLE FLOOR, PLUS 10 FEET FOR INTERIOR WALLS OR A TOP PLATE LEVEL OF 45 FEET, PLUS 7 ADDITIONAL FEET FOR ATTIC SPACE AND ROOF LINE DESIGN, FOR A TOTAL BUILDING HEIGHT OF 52 FEET, MEASURED AT THE PEAK OF THE ROOF.
- TOTAL PARCEL AREA: 35,812.78 sq.ft. (0.82 acres)  
LOT AREA TO EDGE OF CANAL: 33,239.02 sq.ft. (0.76 acres)  
(AREAS BY COORDINATE METHOD)
- BOUNDARY AND PHYSICAL INFORMATION BASED ON PLAT ENTITLED "RECOMBINATION PLAT FOR LOT 1R" BY QUIBLE & ASSOCIATES, P.C. DATED 11/23/2020. TOPOGRAPHIC INFORMATION BASED ON DATA COLLECTION FROM QUIBLE & ASSOCIATES, P.C. ON 10/13/2020.
- THIS PLAN SUBJECT TO ANY FACTS, INCLUDING BUILDING SETBACK RESTRICTIONS, EASEMENTS, COVENANTS, ETC., THAT MAY BE REVEALED BY A FULL AND ACCURATE TITLE SEARCH.
- HORIZONTAL DATUM IS NAD83(2011), VERTICAL DATUM IS NAVD 1988, DERIVED FROM NCGS MON K 193
- LOT COVERAGE:
 

EXISTING		
CONCRETE	=	63 sq.ft.
GRAVEL	=	9,002 sq.ft.
TOTAL	=	9,074 sq.ft.
DARE COUNTY PROPOSED		
BUILDING	=	8,092 sq.ft.
CONCRETE	=	1,128 sq.ft.
GRAVEL	=	8,108 sq.ft.
TOTAL	=	9,220 sq.ft. (27.3%)
(MAX MAXIMUM ALLOWED)		
NODED PROPOSED		
BUILDING	=	8,092 sq.ft.
CONCRETE	=	1,128 sq.ft.
GRAVEL	=	8,108 sq.ft.
TOTAL	=	17,328 sq.ft.
(6,234 sq.ft. NET INCREASE FROM EXISTING COVERAGE)		
- AEC COVERAGE:
 

TOTAL AREA OF AEC	=	12,338 sq.ft.
COVERAGE IN AEC	=	3,350 sq.ft. (28.8%)
- SETBACKS:
 

FRONT	REQUIRED	25'
SIDE	10'	
REAR	20'	
CORNER	20'	
- LIMITS OF DISTURBANCE PROPOSED WILL BE LESS THAN 1 ACRE.
- PARKING CALCULATIONS:
 

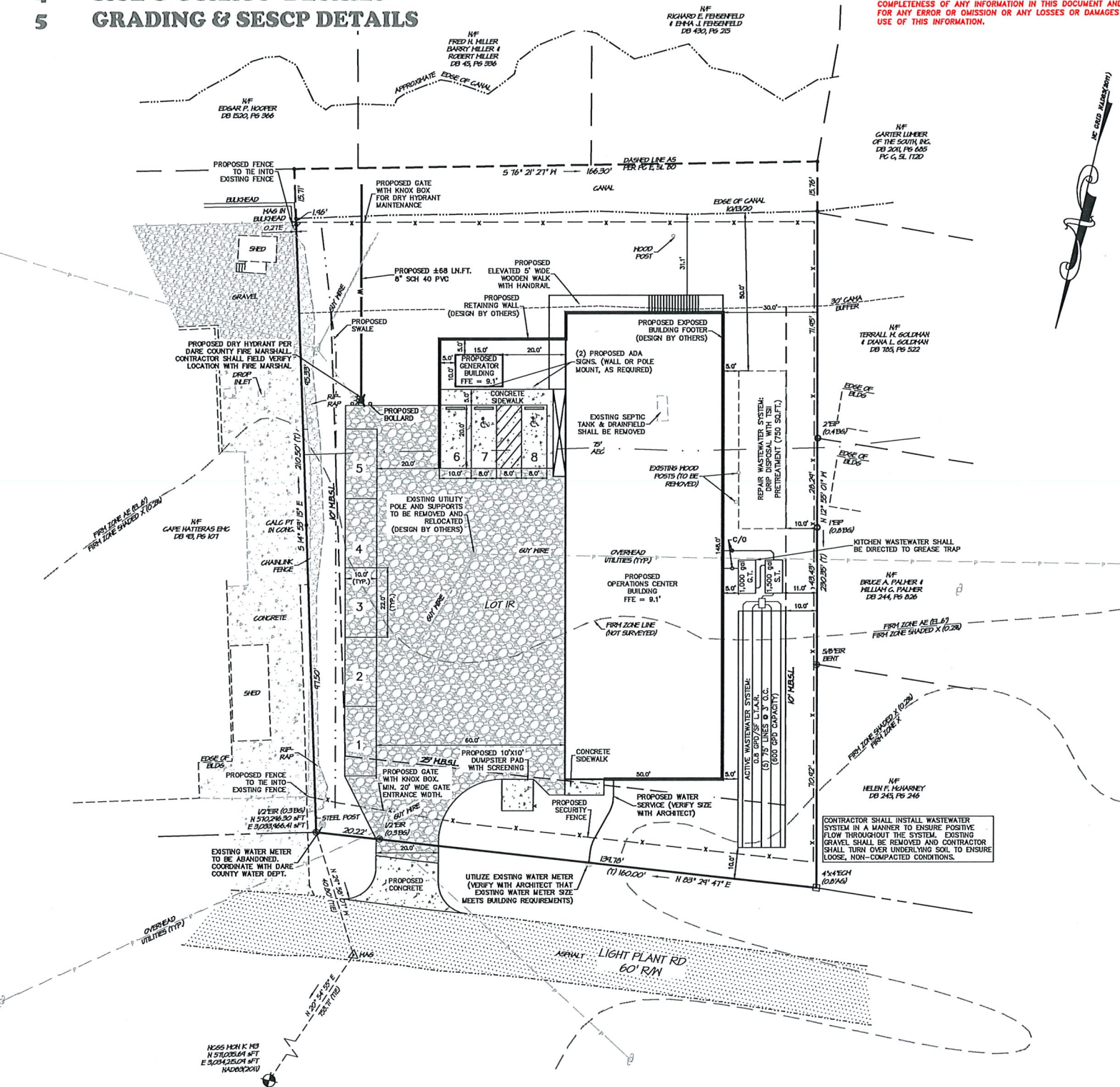
REQUIRED: 2 SPACES PER EACH THREE EMPLOYEES ON THE LARGEST SHIFT x 12 EMPLOYEES = 8 spaces
PROVIDED: 8 spaces
ADA SPACES REQUIRED: 1 space
ADA SPACES PROVIDED: 2 spaces (2 VAN ACCESSIBLE)
- PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES. BASED ON COMMUNITY ID NO. 37534b; PANEL 0537; SUFFIX K. (MAP NUMBER 375003700K) EFFECTIVE DATE: 08/19/2020
- PROJECT SCOPE: THIS PLAN PROPOSES THE REMOVAL OF EXISTING GRAVEL ON PARCEL, AND THE CONSTRUCTION OF A NEW OPERATION BUILDING AND ASSOCIATED UTILITIES, PARKING AND WALKS.
- THIS PLAN IS TO BE UTILIZED FOR THE INSTALLATION OF SITE LAYOUT IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, GRADING & DRAINAGE, INSTALLATION OF SEDIMENT CONTROL MEASURES, WASTEWATER, AND WATER SYSTEM. FOR BUILDING DESIGN AND ASSOCIATED PLUMBING, SEE APPROPRIATE SEPARATE PLANS.
- ALL EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH THE DARE COUNTY ORDINANCE. LIGHTING PLAN TO BE PROVIDED UNDER SEPARATE COVER, IF REQUIRED.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL PROPOSED UTILITIES SERVING THIS SITE WILL BE PLACED UNDERGROUND WITH THE EXCEPTION OF THE RELOCATED TRANSMISSION LINES ON THE PROPERTY.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- THE ENTIRE SITE WILL BE IN FULL COMPLIANCE WITH ALL APPLICABLE NFPA REGULATIONS PERTAINING TO FIRE PROTECTION INCLUDING BUT NOT LIMITED TO NFPA 30 AS WELL AS VOLUME V OF THE NC STATE BUILDING CODE.
- BUILDING CONSTRUCTION SHALL COMPLY WITH ALL ASPECTS OF THE NORTH CAROLINA BUILDING AND FIRE CODE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, APPLICABLE DARE COUNTY CODES AND ORDINANCES, AND NCEQ DIVISION OF ENERGY, MINERAL AND LAND RESOURCES REGULATIONS.
- THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-632-4949, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
- ALL PAVEMENT MARKINGS, TEXT, AND DIRECTIONAL ARROWS SHALL BE PAINTED WHITE. ALL LETTERS SHALL BE 2 FT. IN HEIGHT. LINES SHALL BE 4" WIDE. CROSSWALK AREAS SHALL MEET NCEQ STANDARDS.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
- WATER IS PROVIDED VIA DARE COUNTY WATER SYSTEM. ALL WATER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH DARE COUNTY'S STANDARD WATER SPECIFICATIONS AND DETAILS.
- SEPTIC DISPOSAL IS WILL BE PROVIDED VIA AN ONSITE SYSTEM AND SHALL BE PERMITTED THROUGH DARE COUNTY HEALTH DEPARTMENT.

**SHEET INDEX**

- SITE & UTILITY PLAN
- EXISTING CONDITIONS & DEMOLITION PLAN
- GRADING & SESC PLAN
- SITE & UTILITY DETAILS
- GRADING & SESC PLAN DETAILS

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**LEGEND**

- [Symbol] EXISTING ASPHALT PAVEMENT
- [Symbol] EX. WATER METER
- [Symbol] EX. UTILITY POLE
- [Symbol] PROPOSED HEAVY DUTY GRAVEL PAVEMENT
- [Symbol] PROPOSED CONCRETE PAVEMENT
- [Symbol] PROPOSED DRY HYDRANT
- [Symbol] PROPOSED WATERLINE
- [Symbol] PROPOSED CLEAN OUT
- [Symbol] PROPOSED FENCE

**WASTEWATER SYSTEM NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK PRIOR TO ANY WORK. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION IF UTILITIES ARE TO REMAIN IN PLACE.
- REMOVE TREES, GRASSES, SHRUBS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- NEW WASTEWATER SYSTEM DESIGN PARAMETERS:
 

DESIGN FLOW:	
25 GPD / EMPLOYEE x 12 EMPLOYEES	= 300 GPD
(1) WASHING MACHINE	= 300 GPD
TOTAL	= 600 GPD
ACTIVE:	
LTAR OF 0.8 GPD/SF (PER DCHD)	(S) 75 FT. LINES AT 3' O.C.
REPAIR:	
LTAR OF 0.8 GPD/SF (PER DCHD)	DRP DISPOSAL WITH TSH PRETREATMENT UTILIZING SETBACK REDUCTION (750 SQ.FT.)
- UNLESS OTHERWISE INDICATED ON THE PLAN, CONSTRUCTION OF SEWAGE COLLECTION, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH SECTIONS .0100, .0300 AND .0400 "WASTE NOT DISCHARGED TO SURFACE WATERS" OF NORTH CAROLINA ADMINISTRATIVE CODE, TITLE 15A DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCE DIVISION OF WATER QUALITY.
- CONSTRUCTION OF SEWAGE COLLECTION SYSTEM, TREATMENT AND DISPOSAL SYSTEM IS TO CONFORM WITH ANY CONDITIONS IMPOSED UTILITIES, INC.
- MATERIAL USED FOR COLLECTION AND DISPOSAL SYSTEM SHALL CONFORM WITH SAME REQUIREMENTS AS #4 ABOVE.
- FILL MATERIAL SHALL HAVE SUCH SOIL TEXTURE TO BE CLASSIFIED AS SAND OR LOAMY SAND (SOIL GROUP I) UP TO THE TOP OF THE NITRIFICATION TRENCHES. THE FINAL SIX INCHES OF FILL USED TO COVER THE SYSTEM SHALL HAVE A FINER TEXTURE (SUCH AS GROUP II) FOR THE ESTABLISHMENT OF A VEGETATIVE COVER. THE FILL MATERIAL AND THE EXISTING SOIL SHALL BE MIXED TO A DEPTH OF SIX INCHES BELOW THE INTERFACE. HEAVY VEGETATIVE COVER OR ORGANIC LITTER SHALL BE REMOVED BEFORE THE FILL MATERIAL IS INCORPORATED.
- WELL POINTS AND PUMPS SHALL BE SUFFICIENT IN SIZE AND SPACING TO DRAW DOWN WATER TABLE TWO TO THREE FEET BELOW REQUIRED EXCAVATION FOR SEPTIC AND PUMP TANKS.
- GRADES SHALL BE ESTABLISHED TO DIVERT RUNOFF AWAY FROM TANKAGE.
- ALL SURFACE RUNOFF SHALL BE DIVERTED AROUND AND AWAY FROM THE DRAINFIELD AREA. FINISH GRADE SHALL BE LANDSCAPED TO PREVENT PONDING OF SURFACE WATER.

**Quible & Associates, P.C.**  
ENGINEERING • PLANNING  
& CONSULTING • SURVEYING  
ENVIRONMENTAL SCIENCES • SURVEYING  
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WILSON, NC 27597  
www.quibleandassociates.com

NC License# 0-0089  
SINCE 1959

**PROFESSIONAL SEAL**  
NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
NO. 12345  
DATE: 10/1/2020

**CERTIFICATION**  
THIS DOCUMENT IS THE PROPERTY OF QUIBLE & ASSOCIATES, P.C. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF QUIBLE & ASSOCIATES, P.C.

**VICINITY MAP (BUXTON)**  
N.T.S.

NO.	DATE	REVISIONS

NO.	DATE	REVISIONS

**SITE & UTILITY PLAN**  
CAPE HATTERAS EMC  
LOT 1R, EILEEN A. MILLER DIVISION  
HATTERAS TOWNSHIP  
DARE COUNTY  
NORTH CAROLINA

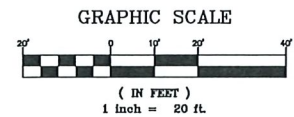
PROJECT NO.	P20081
DESIGNED BY	DLT
DRAWN BY	DLT
CHECKED BY	MWS
ISSUE DATE	09/24/21

**SHEET NO.**  
**1**  
OF 5 SHEETS



Know what's below.  
Call before you dig.

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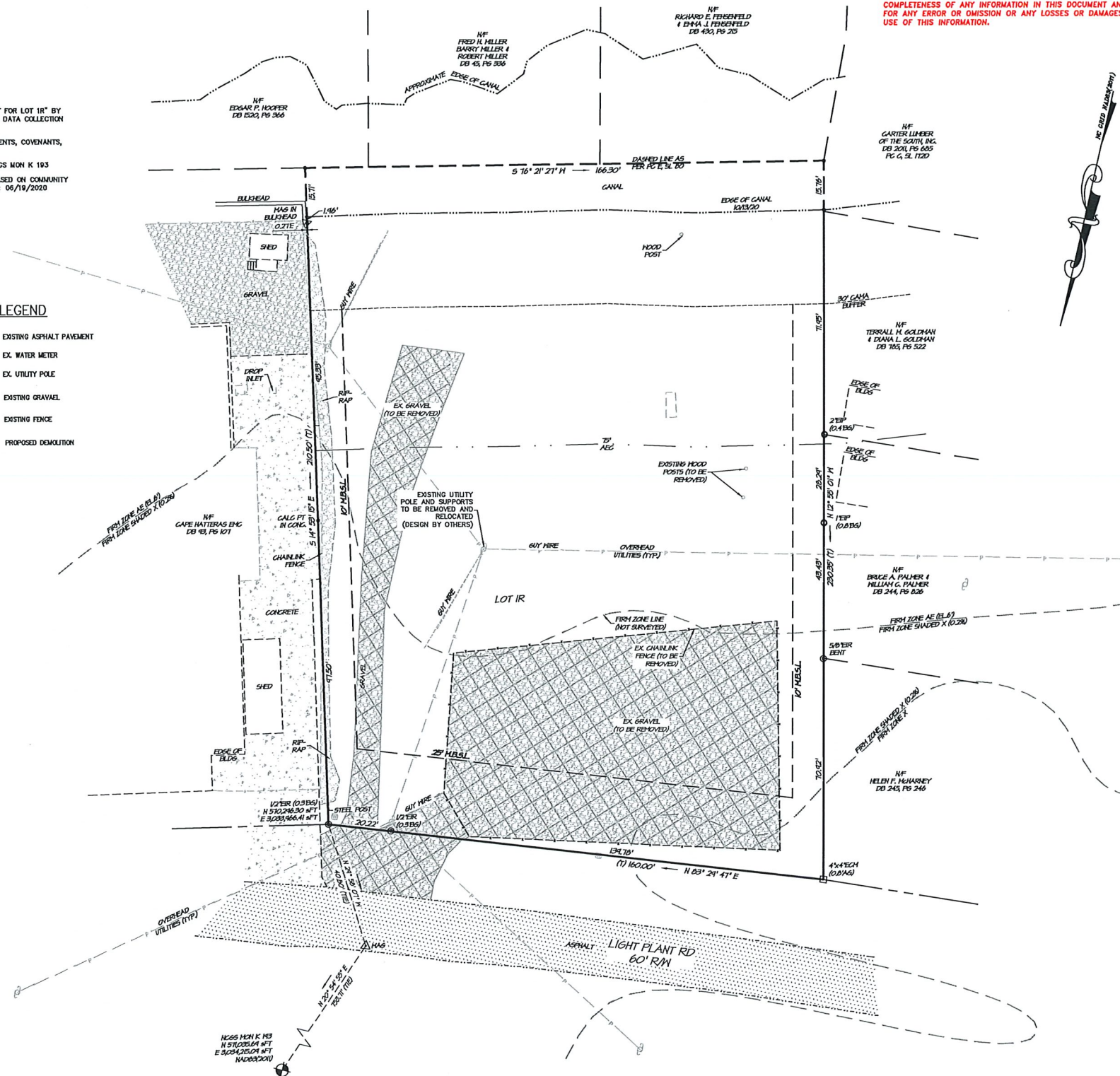
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- PROPERTY ZONED: ALTERNATIVE MEDIUM DENSITY RESIDENTIAL DISTRICT (R-2A)
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LOT AREA TO EDGE OF CANAL: 33,259.02 sq.ft. (0.76 acres)  
(AREAS BY COORDINATE METHOD)
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- HORIZONTAL DATUM IS NAD83(2011), VERTICAL DATUM IS NAVD 1988, DERIVED FROM NCGS MON K 193
- PROPERTY IS LOCATED IN NFP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES, BASED ON COMMUNITY CD NO. 375346; PANEL 0037; SUFFIX K. (MAP NUMBER 3750033700K) EFFECTIVE DATE: 06/16/2020

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- LEGEND**
- EXISTING ASPHALT PAVEMENT
  - EX. WATER METER
  - EX. UTILITY POLE
  - EXISTING GRAVEL
  - EXISTING FENCE
  - PROPOSED DEMOLITION



- DEMOLITION NOTES:**
- CONTRACTOR SHALL LOCATE EXISTING UNDERGROUND SERVICES - TO INCLUDE BUT NOT LIMITED TO ELECTRIC, CABLE, TELEPHONE, GAS, SANITARY SEWER AND WATER - AND SHALL COORDINATE PROPER PROTECTION AND/OR RELOCATE WITH APPROPRIATE OWNER/UTILITY COMPANY.
  - CONTRACTOR SHALL WALK THE SITE AND BE FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND BE UNCLASSIFIED EXCAVATION.
  - DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE, GRAVEL AND ALL MATERIALS OR VEGETATION CLEARED AND STRIPPED TO THE EXTENT NECESSARY FOR THE INSTALLATION OF NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING, COORDINATE WITH APPROPRIATE DRAWINGS.
  - THE CONTRACTOR SHALL PROTECT ALL PROPERTY AND STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO THE PROPERTY DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO THE OWNER.
  - ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM PROJECT AREA.
  - EXISTING PAVEMENT, CURBS AND GUTTER, LIGHTS, FENCES, TREE PROTECTION AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED, AND UNDISTURBED DURING DEMOLITION. CONTRACTOR SHALL COORDINATE THE REMOVAL OF BITUMINOUS CONCRETE PAVEMENTS AND CURBS AND GUTTER WITH THE SITE PLAN.
  - SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS TO BE DEMOLISHED SHALL BE PROVIDED.
  - ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS AS WELL AS OSHA REGULATIONS.
  - CONTRACTOR'S ACTIVITIES SHALL NOT IMPEDE USAGE OR INGRESS/EGRESS TO ADJACENT PROPERTIES. COORDINATE WITH OWNER MAINTENANCE OF TRAFFIC/PEDESTRIAN CIRCULATION DURING CONSTRUCTION.
  - MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES DURING DEMOLITION.
  - DEMOLITION SHALL NOT BEGIN UNTIL WRITTEN AUTHORIZATION IS RECEIVED FROM THE OWNER AND CONTRACTOR HAS OBTAINED THE REQUIRED PERMITS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION TO AUTHORIZE DEMOLITION WORK.
  - DEMOLITION PLAN DOES NOT PURPORT TO SHOW ALL OBJECTS OR UTILITIES EXISTING ON THE SITE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES AND IMPROVEMENTS WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL COORDINATE ALL UTILITY DISCONNECTION, (I.E. SANITARY SEWER, WATER, GAS, TELEPHONE, ELECTRIC, ETC.) TO BUILDINGS, STRUCTURES AND OTHER CONNECTIONS AS NECESSARY FOR DEMOLITION WITH THEIR RESPECTIVE UTILITY PROVIDER. ALL UTILITIES, ABOVE, ON OR BELOW GROUND SHALL BE REMOVED AS DENOTED ON THE PLAN AND SHALL MEET ALL REQUIREMENTS OF UTILITY OWNERS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING OF WORK. BEFORE ANY DEMOLITION, THE CONTRACTOR SHALL CALL NORTH CAROLINA ONE-CALL 1-800-832-4849 TO HAVE ALL UNDERGROUND UTILITIES LOCATED ON AND NEAR THE VICINITY OF THE SITE.
  - EXISTING WATER METERS, ELECTRICAL TRANSFORMERS, TELECOMMUNICATION TERMINALS, ETC. ARE THE PROPERTY OF THE UTILITY COMPANIES SERVING THE SITE AND CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH UTILITY OWNERS THE REMOVAL, TRANSPORTATION, AND STORAGE OF THE SAME.
  - WHERE BUILDING FOUNDATION WALLS, FOOTINGS, CONCRETE SLABS, STOOPS, PAVEMENTS, SIDEWALKS, CURBS, OR GUTTER ARE INDICATED TO BE REMOVED CONTRACTOR SHALL INCLUDE THE REMOVAL OF BASE MATERIAL DOWN TO SUB-GRADE.
  - DEMOLITION PLAN DOES NOT GUARANTEE THE ACCURACY OR QUANTITIES OF THE DEMOLITION STRUCTURES AND MATERIALS; IT WAS DEVELOPED TO ASSIST THE CONTRACTOR. IT IS EXPRESSLY STATED HEREIN THAT THE OWNER OR ENGINEER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN THEREFROM BY THE CONTRACTOR.
  - ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE DAILY IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, PRIVATE PROPERTY, AND/OR PUBLIC RIGHTS-OF-WAY; CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DESIGNATED DEMOLITION DEBRIS FROM THE PROJECT SITE TO A DISPOSAL SITE APPROVED BY ALL AUTHORITIES HAVING JURISDICTION.

NC License# C-0208  
**Quible & Associates, P.C.**  
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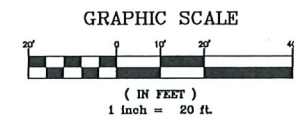
NO.	DATE	REVISIONS

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**CAPE HATTERAS EMC**  
**LOT 1R, EILEEN A. MILLER DIVISION**  
HATTERAS TOWNSHIP DARE COUNTY NORTH CAROLINA

PROJECT NO.	P20081
DESIGNED BY	DLT
DRAWN BY	DLT
CHECKED BY	MWS
ISSUE DATE	09/24/21
SHEET NO.	2
OF 5 SHEETS	



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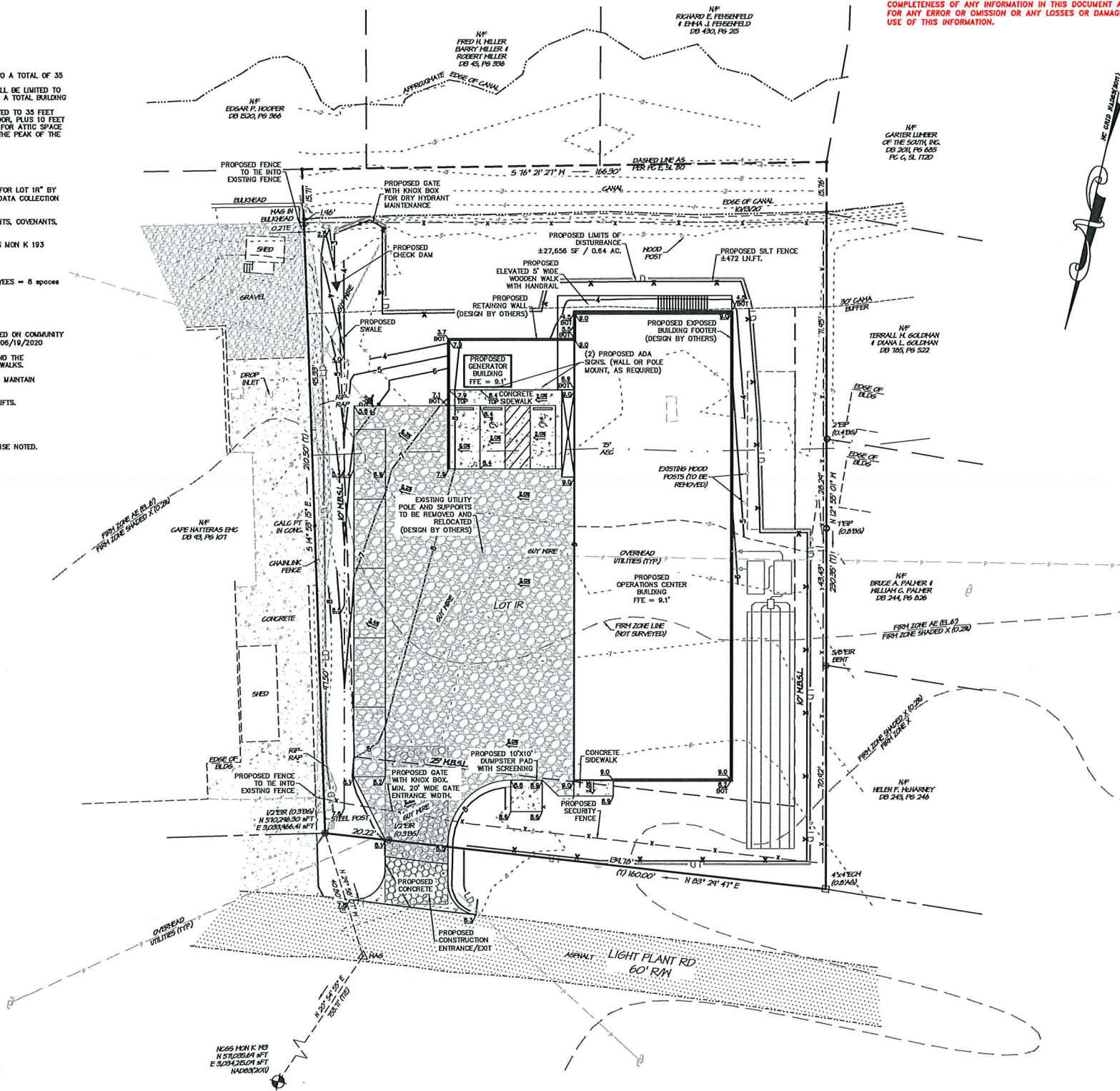


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- LIMITS OF DISTURBANCE PROPOSED WILL BE LESS THAN 1 ACRE.
- PARKING CALCULATIONS:  
REQUIRED: 2 SPACES PER EACH THREE EMPLOYEES ON THE LARGEST SHIFT x 12 EMPLOYEES = 8 spaces  
PROVIDED: 8 spaces  
ADA SPACES REQUIRED: 1 space  
ADA SPACES PROVIDED: 2 spaces (2 VAN ACCESSIBLE)
- PROPERTY IS LOCATED IN NFIP FLOOD ZONES AS SHOWN AND SUBJECT TO CHANGES, BASED ON COMMUNITY CDD NO. 375348; PANEL 0537; SUFFIX K. (MAP NUMBER 3730033700K) EFFECTIVE DATE: 06/19/2020
- PROJECT SCOPE: THIS PLAN PROPOSES THE REMOVAL OF EXISTING GRAVEL ON PARCEL AND THE CONSTRUCTION OF A NEW OPERATION BUILDING AND ASSOCIATED UTILITIES, PARKING AND WALKS.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN SPOT ELEVATION GRADES AND MAINTAIN POSITIVE DRAINAGE.
- AREAS OF FILL SHALL BE EXCAVATED TO COMPACTED SUBGRADE AND BACKFILLED IN 6" LIFTS.
- MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS
- HANDICAP PARKING AND ACCESS SHALL NOT EXCEED 2% GRADE.
- SPOT ELEVATIONS SHOWN ON THIS PLAN ARE ALONG EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

**LEGEND**

- EXISTING ASPHALT PAVEMENT
- EX. WATER METER
- EX. UTILITY POLE
- PROPOSED HEAVY DUTY GRAVEL PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED DRY HYDRANT
- PROPOSED WATERLINE
- C.O. PROPOSED CLEAN OUT
- PROPOSED FENCE
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- PROPOSED CHECK DAM
- PROPOSED SWALE
- PROPOSED FLOW DIRECTION AND GRADE



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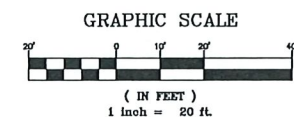
**SOIL EROSION & SEDIMENTATION CONTROL NOTES:**

- AREA TO BE DISTURBED: ±27,656 sq.ft. (±0.64 ac.)
- PROVIDE A GROUND COVER STABILIZATION (TEMPORARY OR PERMANENT) ON ALL EXPOSED DOWNSTREAM SURFACES FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES PER THE CRITERIA LISTED BELOW.
  - PERMETER DICES, BOMS, SWALES, DITCHES AND SLOPES SHALL BE STABILIZED IN 7 DAYS.
  - HIGH QUALITY WATER (HQW) ZONES SHALL BE STABILIZED IN 7 DAYS.
  - DOWNSTREAM SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IN 7 DAYS. IF SLOPES ARE 10' OR LESS AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
  - DOWNSTREAM SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH SHALL BE STABILIZED IN 14 DAYS. SLOPES 3:1 OR FLATTER EXCEEDING 50' IN LENGTH SHALL BE STABILIZED IN 7 DAYS.
  - ALL OTHER DOWNSTREAM AREAS WITH SLOPES 4:1 OR FLATTER SHALL BE STABILIZED WITHIN 14 DAYS.
- IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1 - SEP. 30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS).
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AS DIRECTED BY THE ENGINEER TO ADDRESS THE PROBLEM AREA AND PREVENT DAMAGE TO ADJACENT PROPERTIES.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
  - A RAIN GAUGE MUST BE KEPT ON SITE.
  - DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50 FEET FROM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24 HOUR PERIOD). IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE.
  - INSPECT ALL OUTLETS WHERE RUNOFF LEAVES SITE AND EVALUATE EFFECT ON NEARBY STREAMS. TAKE CORRECTIVE ACTION IF NECESSARY.
  - MAINTAIN RECORDS OF INSPECTIONS AND CORRECTIVE ACTIONS.
  - EARTHWORK NOTE: OFFSITE BORROW MATERIAL SHALL COME FROM AN NCDENR LAND QUALITY SECTION APPROVED SITE. OFFSITE DISPOSAL OF EXCESS MATERIAL SHALL BE TO AN NCDENR LAND QUALITY SECTION APPROVED SITE.

**SOIL EROSION & SEDIMENTATION CONTROL NOTES:**

- PRECONSTRUCTION:**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS (IF NECESSARY).
  - FLAG AND/OR ROUGH STAKE WORK LIMITS.
  - HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- CONSTRUCTION:**
- INSTALL CONSTRUCTION ENTRANCE & SILT FENCING AT LOCATIONS SHOWN ON PLAN.
  - COMPLETE CLEARING AND GRUBBING PROCEDURES.
  - GRADE SITE AND BASIN ACCORDING TO PLAN AND BEGIN CONSTRUCTION OF PROPOSED IMPROVEMENTS, INCLUDING WATER & SEWER UTILITIES.
  - INSTALL CONTRIBUTING STORM CONVEYANCES INCLUDING CHECK DAM(S), SILT FENCE AND ASSOCIATED EROSION CONTROLS.
  - ALL EROSION & SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENT. NEEDED REPAIRS AND MAINTENANCE WILL BE MADE IMMEDIATELY. FURTHERMORE, IF ANY WIND OR STORMWATER RUNOFF EROSION DEVELOPS DURING THE CONSTRUCTION OF THE PROJECT, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS THE PROBLEM AREA.
  - ONCE THE SITE CONSTRUCTION IS COMPLETE AND DENUDED SURFACES ARE FULLY STABILIZED, ALL STORMWATER CONVEYANCES, STRUCTURES, PIPING AND BASINS SHALL BE CLEANED OF ALL SILT/DEBRIS WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY DESIGN GRADES OF ALL STORMWATER CONVEYANCES INCLUDING THE BASIN AND RESTORE TO DESIGN SPECIFICATIONS AS NECESSARY.
  - UPON THE REMOVAL OF ACCUMULATED SEDIMENTS AND SITE STABILIZATION, ALL REMAINING EROSION CONTROLS MAY BE REMOVED FROM THE DEVELOPMENT. ALL DOWNSTREAM EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL OTHER DEVELOPMENT CONSTRUCTION ACTIVITIES.

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**GRADING & SECS PLAN**

**CAPE HATTERAS EMC**  
**LOT 1R, EILEEN A. MILLER DIVISION**

PROJECT NO. P20081  
DESIGNED BY DLT  
DRAWN BY DLT  
CHECKED BY MWS  
ISSUE DATE 09/24/21

SHEET NO. 3 OF 5 SHEETS

NC License# C-0008  
SINCE 1989

**Quible & Associates, P.C.**  
ENGINEERING • CONSULTING • PLANNING  
ARCHITECTURE • INTERIOR DESIGN  
1000 W. HARRIS STREET  
SUITE 100  
BUXTON, NC 27920  
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NO.	DATE	REVISIONS

HATTERAS TOWNSHIP  
DARE COUNTY  
NORTH CAROLINA



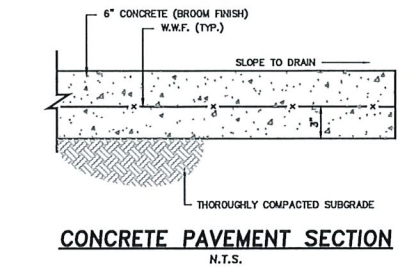
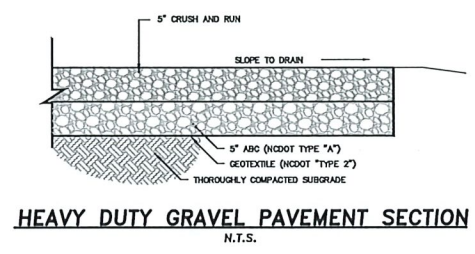
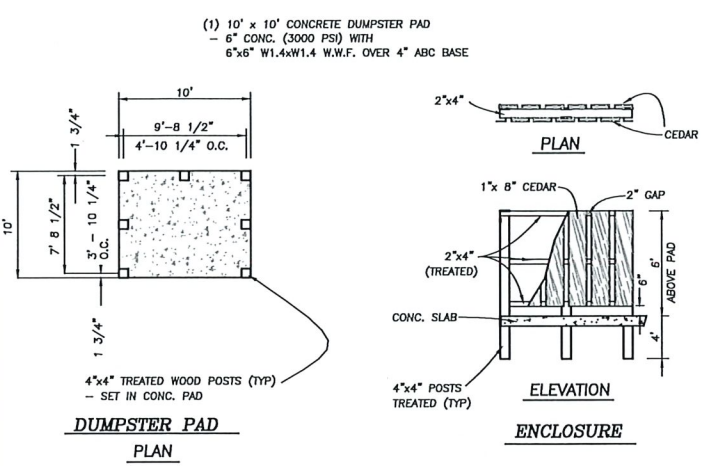
CONTRACTOR SHALL PURCHASE METER AND PROVIDE TO CURRITUCK COUNTY WATER DEPARTMENT FOR INSTALLATION (NEPTUNE T10 SERIES OR HERSY 400 SERIES 1" METER)

REVISIONS

NO.	DATE	DESCRIPTION

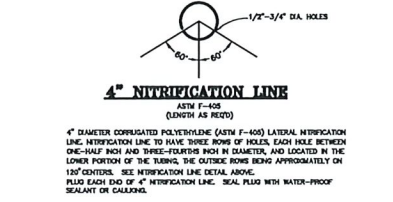
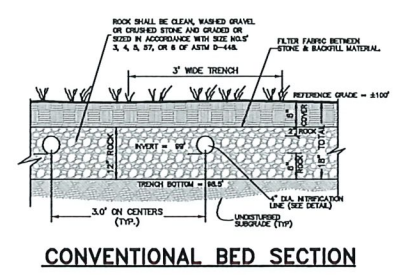
**SITE & UTILITY DETAILS**  
**CAPE HATTERAS EMC**  
**LOT 1R, EILEEN A. MILLER DIVISION**  
 HATTERAS TOWNSHIP DARE COUNTY NORTH CAROLINA

PROJECT NO. P20081  
 DESIGNED BY DLT  
 DRAWN BY DLT  
 CHECKED BY MWS  
 ISSUE DATE 09/24/21  
 SHEET NO. **4**  
 OF 5 SHEETS



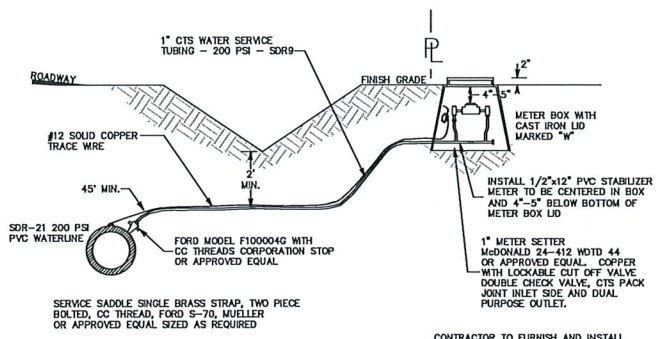
- COMPACTION NOTES:**
- PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
  - COMPACT BACKFILL AND SUBGRADE TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) ALL BACKFILL MATERIAL SHALL BE SELECT BACKFILL UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
  - SELECT FILL SHALL CONSIST OF SAND OR GRAVEL CONTAINING LESS THAN 20% BY WEIGHT OF FINES (SP, SM, SW, GP, CW) HAVING A LIQUID LIMIT LESS THAN 25 AND PLASTIC LIMIT LESS THAN 6, AND FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS, AND OTHER UNSUITABLE MATERIAL.

**COMPACTION NOTES**



**CONVENTIONAL TRENCH DETAIL**  
 N.T.S.

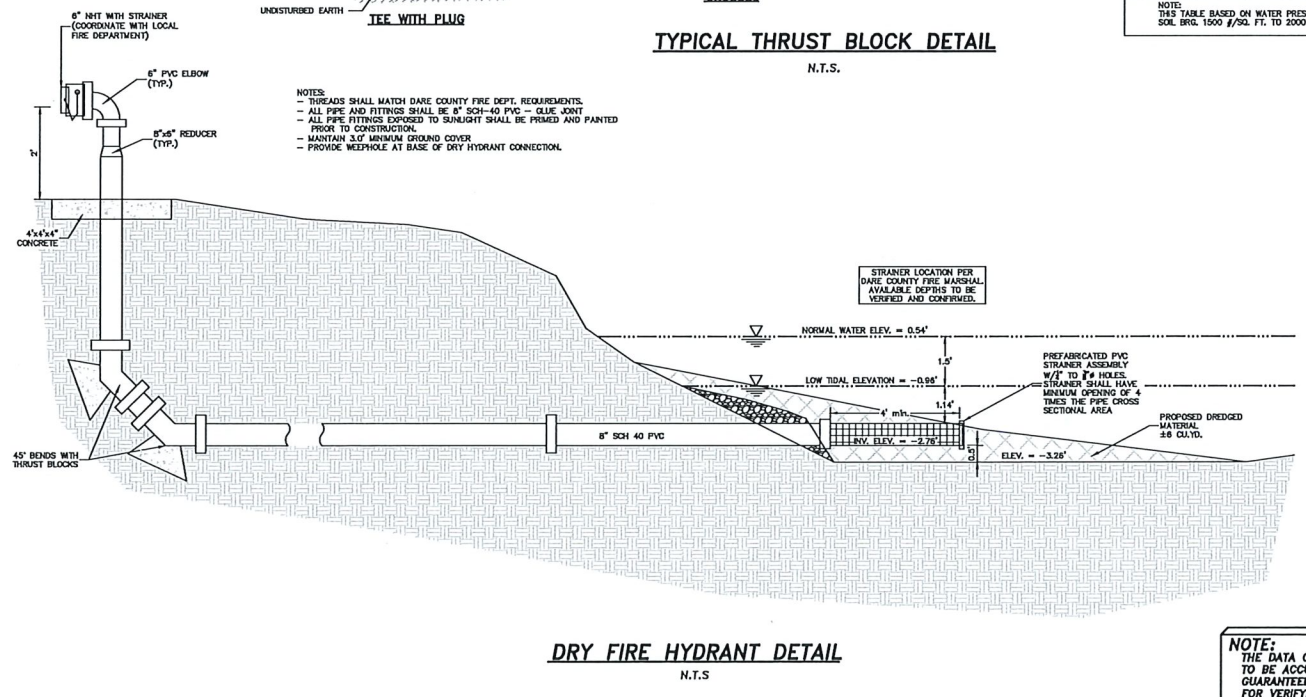
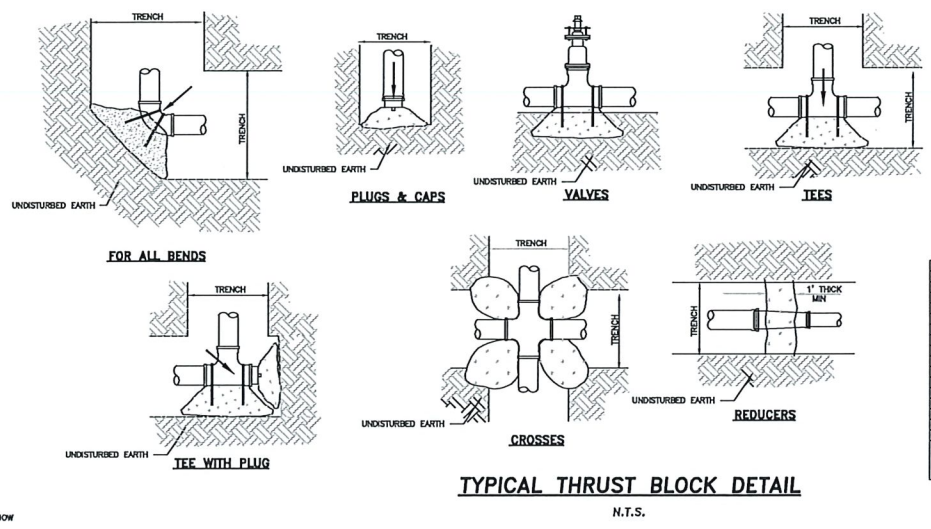
ALL DRAINFIELD AND REPAIR AREAS SHALL BE SEEDED AND MULCHED ACCORDING TO THE GENERAL SPECIFICATIONS



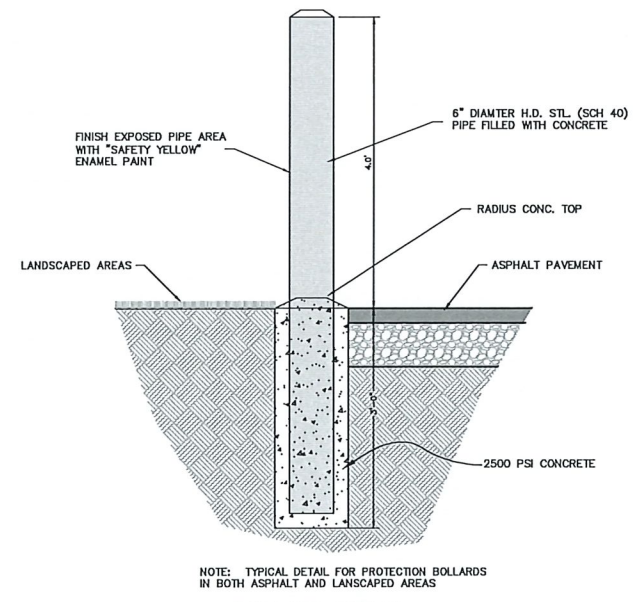
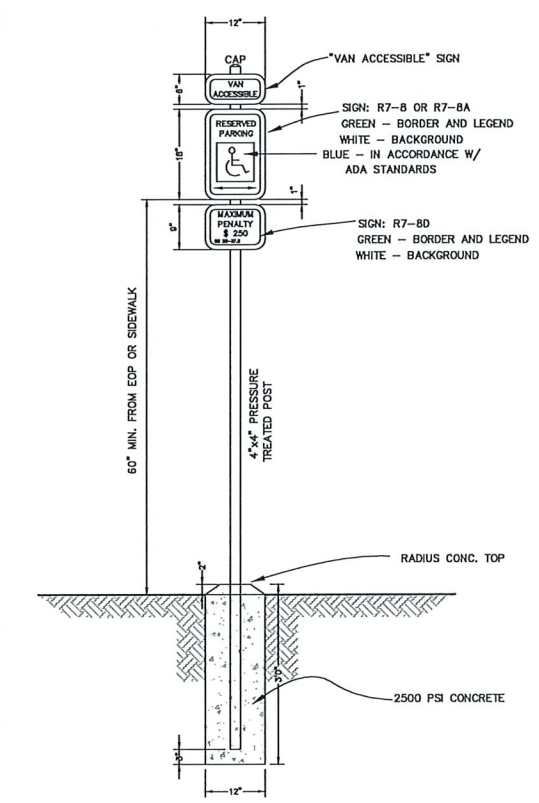
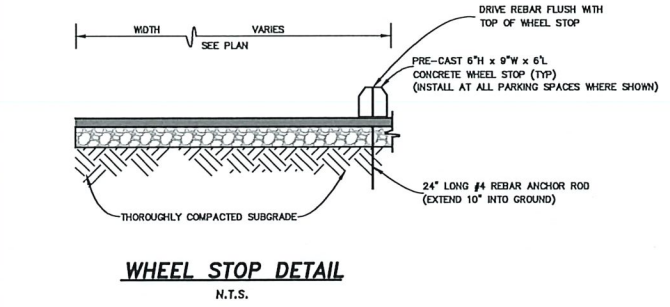
**1" WATER SERVICE LATERAL DETAIL**  
 N.T.S.

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**PERMANENT VEGETATION**

SEEDING DATES: APRIL 1 - AUGUST 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	130 LBS.
COMMON BERMUDA "SAHARA" (HULLED)	215 LBS.

SEEDING DATES: SEPT. 1 - MARCH 31:

SEED MIXTURE	APPLICATION RATES/ACRE
REBEL II FESCUE	250 LBS.
COMMON BERMUDA "SAHARA" (UNHULLED)	215 LBS.

**TEMPORARY VEGETATION**

SEEDING DATES: AUG. 16 - APRIL 15:

SEED MIXTURE	APPLICATION RATES/ACRE
RYE GRASS	120 LBS.

SEEDING DATES: APRIL 16 - AUG. 15:

SEED MIXTURE	APPLICATION RATES/ACRE
GERMAN MILLET	40 LBS.

**SEEDBED PREPARATION:**  
 LOOSEN SOILS TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW. BREAK UP CLODS, REMOVE UNACCEPTABLE GROWTH (STICKS, ROOTS), STONES (>3"), AND OTHER MATERIALS, AND WORK THE TOP 3-4 INCHES OF THE SOIL INTO A SEEDBED. THE AREA TO BE SEEDDED SHALL BE RE-COMPACTED UTILIZING A CULTIPACKER ROLLER AND A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNFORMALLY FINE TEXTURE SHALL BE THE FINISHED GRADE.

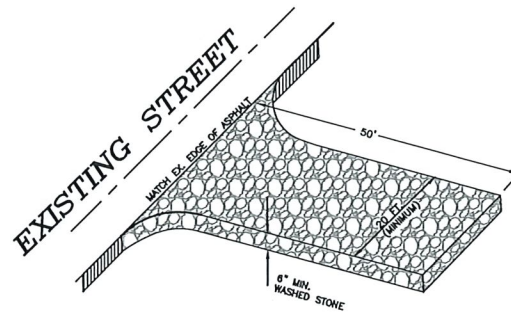
**SOIL AMENDMENTS:**  
 OBTAIN A SOIL TEST TO DETERMINE APPLICATION RATES AND FOLLOW RECOMMENDATIONS OF SOIL TESTS. WHEN A SOIL TEST IS NOT POSSIBLE, APPLY 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 STARTER FERTILIZER.

**MULCHING:**  
 APPLY 4,000 LB/ACRE GRASS STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, ROWING OR BY CRUISING WITH A MULCH ANCHORING TOOL.

**MAINTENANCE:**  
 SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEEDDED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

**MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE.** (COMPLETE VEGETATIVE COVER IS REQUIRED REGARDLESS OF COUNTY ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND FINAL PAYMENT WILL NOT BE AWARDED UNTIL COMPLETE ESTABLISHMENT OF VEGETATIVE COVER.)  
 WEAK OR DAMAGED SPOTS MUST BE RELIEM, FERTILIZED, MULCHED, AND RESEEDDED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

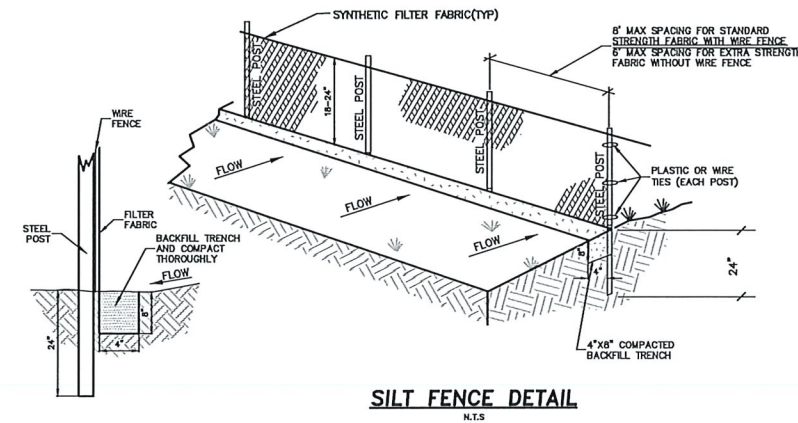
**SEEDING SPECIFICATIONS**



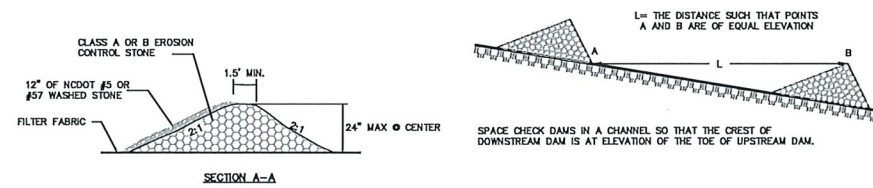
**GRAVEL CONSTRUCTION ENTRANCE/EXIT DETAIL**  
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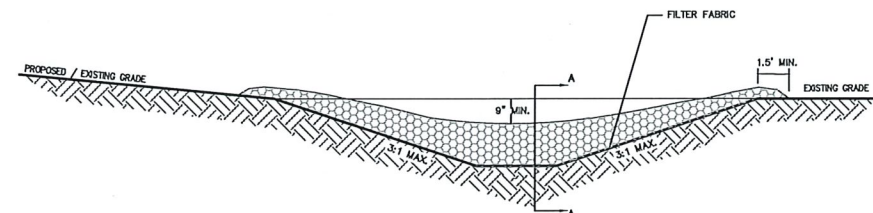
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**SILT FENCE DETAIL**  
N.T.S.



**CHECK DAM DETAIL**  
N.T.S.



**CHECK DAM DETAIL**  
N.T.S.

NC License# C-0208  
 SINCE 1959  
**Quible & Associates, P.C.**  
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 ENVIRONMENTAL SCIENCES & SURVEYING  
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NO.	DATE	REVISIONS

**GRADING & SESCIP DETAILS**  
**CAPE HATTERAS EMC**  
**LOT 1R, EILEEN A. MILLER DIVISION**  
 HATTERAS TOWNSHIP DARE COUNTY NORTH CAROLINA

PROJECT NO.	P20081
DESIGNED BY	DLT
DRAWN BY	DLT
CHECKED BY	MWS
ISSUE DATE	09/24/21

SHEET NO.  
**5**  
 OF 5 SHEETS



Know what's below.  
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